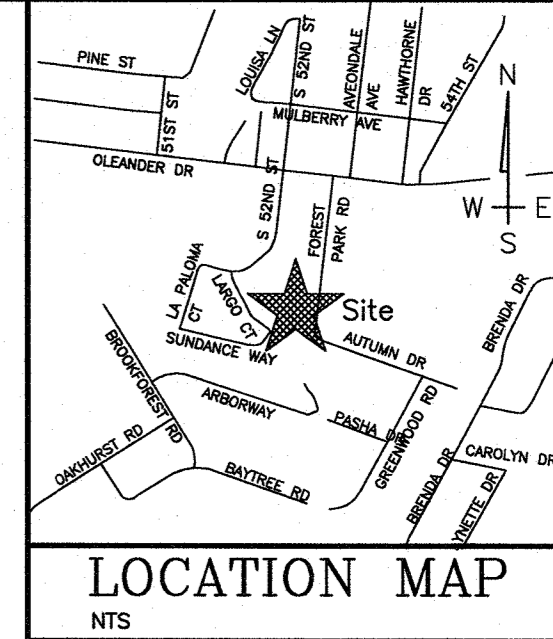


REVISIONS		
No./Date	Description	By

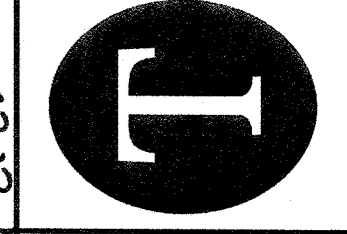


SITE DATA:

PROPERTY OWNER	FOREST PARK ILM, LLC
PROJECT ADDRESS	430 FOREST PARK ROAD R0209-002-021-000
AREA NOT IN A FEMA 100-YEAR FLOOD ZONE.	R-5
ZONING DISTRICT	R-5
DISTURBED AREA	1.1 AC
SETBACKS REQUIRED	FRONT: 10' REAR: 15' SIDE: 7'
PROPOSED SETBACKS: LOT1/LOT2	FRONT: 5.15'/10.5' REAR: 101.5'/119.5' SIDE: 7.5'
TRACT AREA	54,682 SF (1.25 AC)
BUILDING USE	RESIDENTIAL
BUILDING CONSTRUCTION TYPE	5B
EXISTING BUILDING AREA	0 SF
TOTAL PROPOSED BUILDING AREA (GROSS)	9,732 SF
BUILDING LOT COVERAGE (9,732/54,682)	17.8%
NUMBER OF BUILDINGS	2
NUMBER OF UNITS	12/3
NUMBER OF BEDROOMS/UNIT	3/3
MAXIMUM BUILDING HEIGHT	35'
NUMBER OF STORIES	3
SF PER FLOOR (GROSS)	
LOT 1 BUILDING	4,830 SF
2ND FLOOR	4,830 SF
3RD FLOOR	4,830 SF
LOT 2 BUILDING	4,830 SF
1ST FLOOR	4,830 SF
2ND FLOOR	4,830 SF
3RD FLOOR	4,830 SF
EXISTING IMPERVIOUS AREAS:	
EXISTING BUILDING	0 SF
EXISTING ASPHALT	0 SF
EXISTING CONCRETE	0 SF
EXISTING IMPERVIOUS AREA	0 SF (0%)
PROPOSED ONSITE IMPERVIOUS AREA:	
PROPOSED BUILDING FOOTPRINT	9,732 SF
PROPOSED ASPHALT ACCESS	5,523 SF
PROPOSED CONCRETE PARKING	5,505 SF
FUTURE IMPERVIOUS AREA	3,720 SF
TOTAL IMPERVIOUS AREA	24,480 SF (44.8%)
PROPOSED OFFSITE IMPERVIOUS AREA:	1,265 SF
TOTAL PROPOSED IMPERVIOUS AREA:	25,745 SF
ONSITE + OFFSITE	
PARKING REQUIRED: (12) 3-BEDROOM UNITS	27 SPACES
MINIMUM: (2.25/UNIT)	33 SPACES
MAXIMUM: (2.75/UNIT)	33 SPACES
PARKING PROVIDED:	33 SPACES
BICYCLE SPACES REQUIRED	
(1) SPACE/5 DWELLING UNITS	3 BICYCLE SPACES
BICYCLE SPACES PROVIDED	3 BICYCLE SPACES
1 SPACE/5 DWELLING UNITS+12 UNITS	3 BICYCLE SPACES
PUBLIC WATER AND SEWER BY CFPWA	
EXISTING WATER FLOW:	0 GPD
EXISTING SEWER FLOW:	0 GPD
PROPOSED WATER FLOW:	4,800 GPD
(400 GPD/UNIT x 12 UNITS)	
PROPOSED SEWER FLOW:	4,320 GPD
(360 GPD/UNIT x 12 UNITS)	
CAMA LAND USE:	URBAN WATERSHED RESOURCE PROTECTION
SOLID WASTE HANDLING:	ROLL-OUT CARTS

SITE AND UTILITY PLAN
FOREST PARK TOWNHOMES
 430 FOREST PARK ROAD
 WILMINGTON, NORTH CAROLINA

TRIPP ENGINEERING, P.C.
 419 Chestnut Street
 Wilmington, North Carolina 28401
 Phone 910-763-5100
 Fax 910-763-5631
 © 2011 TRIPP ENGINEERING, P.C.



PROGRESS DRAWING
 DO NOT USE FOR CONSTRUCTION

DATE 07-21-23
 DESIGN PGT
 DRAWN EJW

C2

22011

NOTES:

ZONING
 1) TOPOGRAPHY AND TREE SURVEY COMPLETED BY MICHAEL UNDERWOOD AND ASSOCIATES, P.A.
 2) CONTRACTOR SHALL FIELD VERIFY SIZE, MATERIAL, INVERTS AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PROPOSED CONNECTIONS.
 3) EXISTING EASEMENTS AS SHOWN
 4) CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
 5) ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
 6) UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.

SOLID WASTE
 1) SITE TO USE ROLL-OUT TYPE CARTS.

TRAFFIC
 1) PLEASE COORDINATE WITH CITY TRAFFIC SIGNS AND MARKINGS MANAGER PRIOR TO INSTALLATION OF ANY TRAFFIC SIGNS.
 2) ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NC DOT STANDARDS.
 3) ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
 4) ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 5) ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 6) IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
 7) CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING REGARDING THE UTILITIES IN ROW.
 8) CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
 9) NO PARKING SPACES, FENCES, WALLS, POSTS, LIGHT, SHRUBS, TREES, OR OTHER TYPE OF OBSTRUCTIONS NOT SPECIFICALLY EXEMPTED SHALL BE PERMITTED IN THE SPACE BETWEEN 30 INCHES AND ABOVE GROUND AND 10 FEET ABOVE GROUND LEVEL WITHIN A TRIANGULAR SIGHT TRIANGLE DISTANCE.

LANDSCAPING
 1) A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND THE PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.
 2) ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
 3) PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 4) ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
 5) NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTIONS ON TREE PROTECTION METHODS.
 6) ALL CURBING AROUND LANDSCAPE ISLAND TO BE MINIMUM 6" IN HEIGHT.
 7) TREE PRESERVATION/REMOVAL PERMIT IS REQUIRED PRIOR TO CLEARING AND LAND DISTURBANCE.
 8) LABEL PROTECTIVE FENCING WITH SIGNS TO BE PLACED EVERY 50 LINEAR FEET OR AT LEAST TWO (2) PER AREA, IN BOTH ENGLISH AND SPANISH "TREE PROTECTION AREA: DO NOT ENTER".

CEPWA
 1) WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
 2) PROJECT SHALL COMPLY WITH THE CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
 3) IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
 4) ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA WATER SHALL COMPLY WITH THE CFPWA'S CONNECTION CONTROL REGULATION. CALL 332-6419 FOR INFORMATION.
 5) ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES FOR USCFOCCHR OR ASSE.
 6) PUBLIC WATER AND SEWER EXIST WITHIN WRIGHTSVILLE AVE. R/W. NO RECORDS OF INDIVIDUAL EASEMENTS EXIST.
 7) CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING OR GRADING.
 8) ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
 9) CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.

DRAINAGE
 1) STORMWATER PROVIDED BY INFILTRATION BASIN.

FIRE AND LIFE SAFETY NOTES
 1) FIRE HYDRANT MUST BE WITHIN 150' OF THE FDC MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE.
 2) FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
 3) LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPAN SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
 4) IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
 5) ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED. PLEASE WORK CLOSELY WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TAMPER SWITCH.
 6) CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
 7) NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
 8) PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0696.
 9) CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2016 NC FIRE CODE.

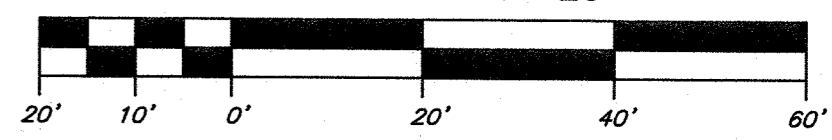
SITE LIGHTING
 1) SITE LIGHTING PLAN TO BE PROVIDED BY OTHERS.
 2) ANY EXTERIOR LIGHTING SHALL BE LIMITED TO CUT-OFF OR SHIELDED TYPE LUMINAIRES AND SHALL BE DIRECTED TOWARD THE CENTER OF THE PROPERTY. IN NO CASE SHALL SITE LIGHTING BE LOCATED OR INSTALLED SO AS TO SHINE DIRECTLY ONTO NEIGHBORING PROPERTIES OR THE PUBLIC RIGHT-OF-WAY. THE HEIGHT OF ANY EXTERIOR LIGHTING SHALL NOT EXCEED TEN (10) FEET IN HEIGHT AND SHALL MAINTAIN A CLEARANCE OF AT LEAST EIGHT (8) FEET ABOVE ANY PEDESTRIAN AREA.

LEGEND

- SS SEWER
- W WATER
- SD PROPOSED STORM WATER
- LIMITS OF DISTURBANCE
- X TSF TEMPORARY SILT FENCE
- PROPOSED CONCRETE
- TREE PROTECTION

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

SITE PLAN
 BAR SCALE 1"=20'

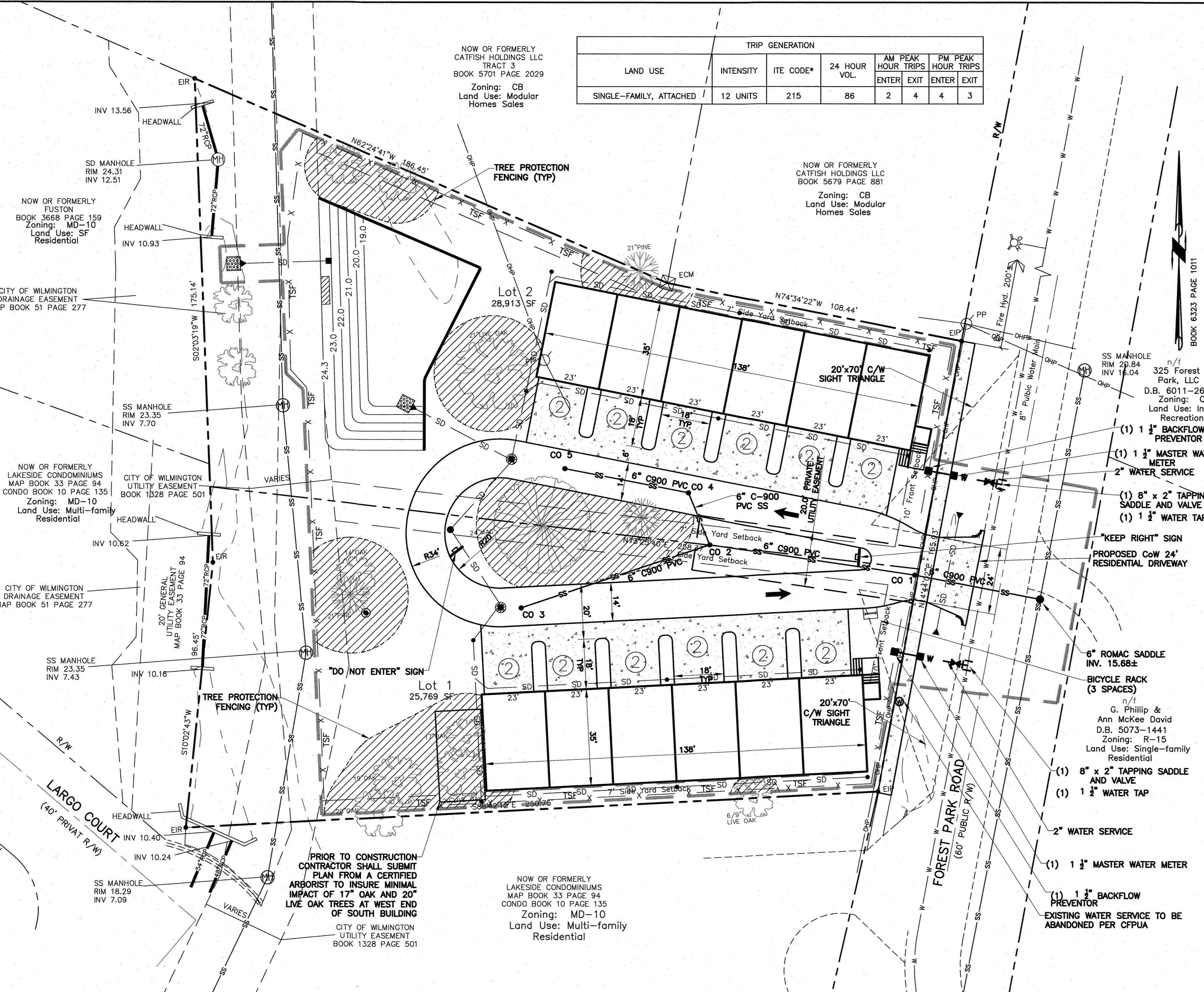


TRIP GENERATION

LAND USE	INTENSITY	ITE CODE*	24 HOUR VOL.	AM PEAK HOUR TRIPS		PM PEAK HOUR TRIPS	
				ENTER	EXIT	ENTER	EXIT
SINGLE-FAMILY, ATTACHED	12 UNITS	215	86	2	4	4	3

NOW OR FORMERLY CATFISH HOLDINGS LLC TRACT 3 BOOK 5701 PAGE 2029
 Zoning: CB
 Land Use: Modular Homes Sales

NOW OR FORMERLY CATFISH HOLDINGS LLC BOOK 5679 PAGE 881
 Zoning: CB
 Land Use: Modular Homes Sales



SANITARY SEWER CLEANOUT TABLE

CLEANOUT NO.	TOP	INV. IN	INV. OUT	OUTLET PIPE
1	22.80	16.15	16.15	46" @ 1.00%
2	23.00	16.9 CO 3 16.9 CO 4	16.90	75" @ 1.00%
3	22.73	17.70	17.70	72" @ 1.11%
4	22.98	17.1 CO 5	17.10	20" @ 1.00%
5	22.78	17.60	17.60	45" @ 1.11%

PRIOR TO CONSTRUCTION CONTRACTOR SHALL SUBMIT PLAN FROM A CERTIFIED ARBORIST TO INSURE MINIMAL IMPACT OF 17" OAK AND 20" LIVE OAK TREES AT WEST END OF SOUTH BUILDING

NOW OR FORMERLY LAKESIDE CONDOMINIUMS MAP BOOK 33 PAGE 94 CONDO BOOK 10 PAGE 135
 Zoning: MD-10
 Land Use: Multi-family Residential

NOW OR FORMERLY FUSTON BOOK 3668 PAGE 159
 Zoning: MD-10
 Land Use: SF Residential

CITY OF WILMINGTON DRAINAGE EASEMENT MAP BOOK 51 PAGE 277

NOW OR FORMERLY LAKESIDE CONDOMINIUMS MAP BOOK 33 PAGE 94 CONDO BOOK 10 PAGE 135
 Zoning: MD-10
 Land Use: Multi-family Residential

CITY OF WILMINGTON DRAINAGE EASEMENT MAP BOOK 51 PAGE 277

SS MANHOLE RIM 23.35 INV 7.70

SS MANHOLE RIM 18.29 INV 7.09

SS MANHOLE RIM 19.86 INV 14.98

SS MANHOLE RIM 24.31 INV 12.51

SS MANHOLE RIM 23.35 INV 7.70

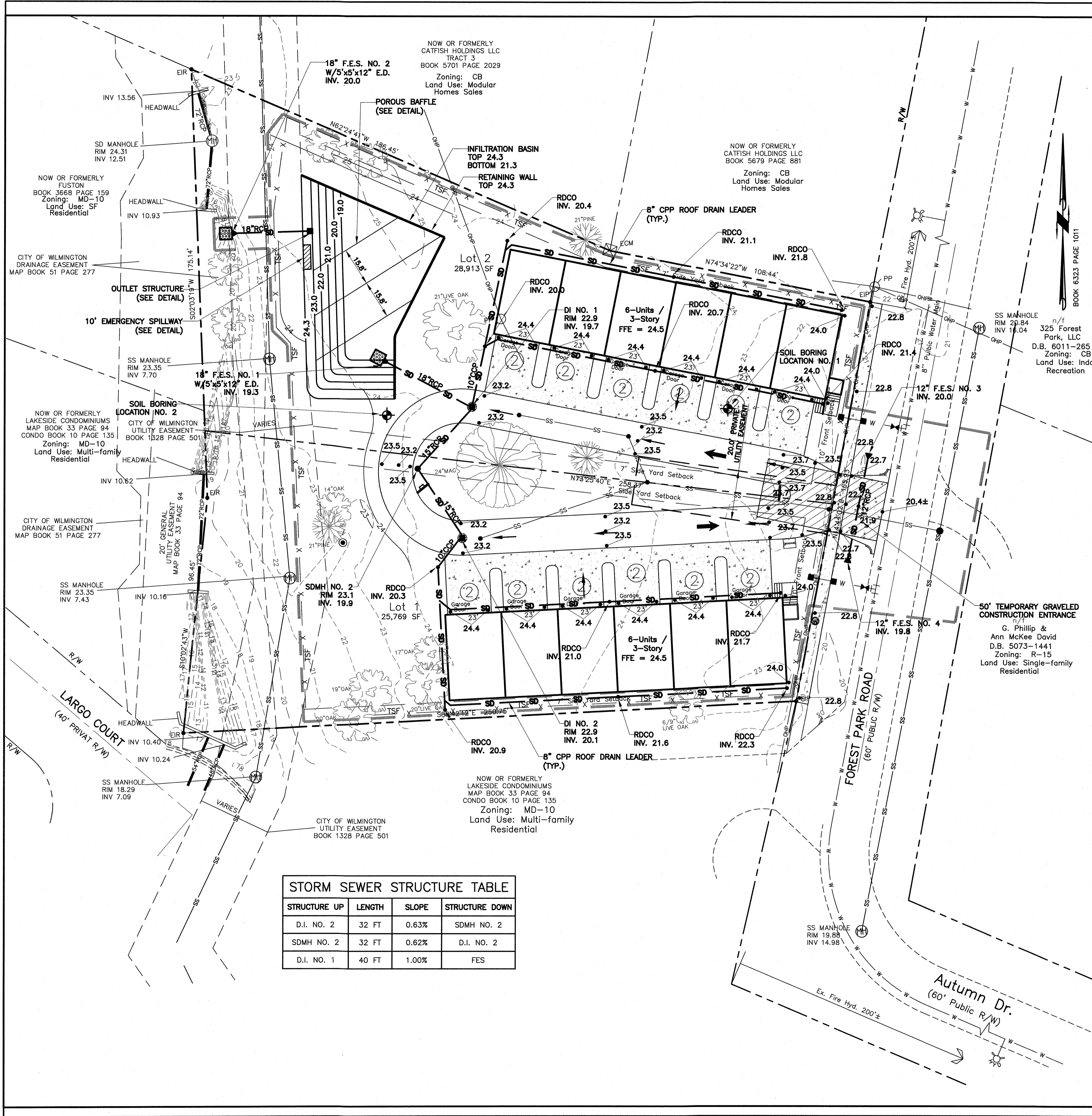
SS MANHOLE RIM 24.31 INV 12.51

SS MANHOLE RIM 23.35 INV 7.70

SS MANHOLE RIM 24.31 INV 12.51

SS MANHOLE RIM 23.35 INV 7.70

SS MANHOLE RIM 24.31 INV 12.51



STORM SEWER STRUCTURE TABLE

STRUCTURE UP	LENGTH	SLOPE	STRUCTURE DOWN
D.I. NO. 2	32 FT	0.63%	SDMH NO. 2
SDMH NO. 2	32 FT	0.62%	D.I. NO. 2
D.I. NO. 1	40 FT	1.00%	FES

NOTES:

ZONING
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 2) CONTRACTOR SHALL FIELD VERIFY SIZE, MATERIAL, INVERTS AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PROPOSED CONNECTIONS.
 3) EXISTING EASEMENTS AS SHOWN
 4) CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
 5) ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
 6) UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0686.

SOLID WASTE
 1) SITE TO USE ROLL-OUT TYPE CARTS.

TRAFFIC
 1) PLEASE COORDINATE WITH CITY TRAFFIC SIGNS AND MARKINGS MANAGER PRIOR TO INSTALLATION OF ANY TRAFFIC SIGNS.
 2) ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NDOT STANDARDS.
 3) ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
 4) ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 5) ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 6) IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
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 8) CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
 9) NO PARKING SPACES, FENCES, WALLS, POSTS, LIGHT, SHRUBS, TREES, OR SPECIFICATIONS SHALL BE INSTALLED UNLESS SPECIFICALLY EXEMPTED SHALL BE PERMITTED IN THE SPACE BETWEEN 30 INCHES AND ABOVE GROUND AND 10 FEET ABOVE GROUND LEVEL WITHIN A TRIANGULAR SIGHT DISTANCE.

LANDSCAPING
 1) A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND THE PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.
 2) ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISION FROM 30'-10'.
 3) PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 4) ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARREADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
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 6) FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTIONS ON TREE PROTECTION METHODS.
 7) ALL CURBING AROUND LANDSCAPE ISLAND TO BE MINIMUM 6" IN HEIGHT.
 8) TREE PRESERVATION/REMOVAL PERMIT IS REQUIRED PRIOR TO CLEARING AND LAND DISTURBANCE.
 9) LABEL PROTECTIVE FENCING WITH SIGNS TO BE PLACED EVERY 50 LINEAR FEET, OR AT LEAST TWO (2) PER AREA, IN BOTH ENGLISH AND SPANISH "TREE PROTECTION AREA: DO NOT ENTER".

CEPUA
 1) WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
 2) PROJECT SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
 3) IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DOWNFLOW SIDE OF THE WATER METER BOX.
 4) ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA'S CONNECTION CONTROL REGULATION. CALL 332-6419 FOR INFORMATION.
 5) ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES FOR USFCOCCR OR ASSE.
 6) PUBLIC WATER AND SEWER EXIST WITHIN WRIGHTSVILLE AVE. R/W. NO RECORDS OF INDIVIDUAL EASEMENTS EXIST.
 7) CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING OR GRADING.
 8) ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
 9) CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.

DRAINAGE
 1) STORMWATER PROVIDED BY INFILTRATION BASIN.

FIRE AND LIFE SAFETY NOTES
 1) FIRE HYDRANT MUST BE WITHIN 150' OF THE FDC MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE.
 2) FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
 3) LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPAN SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
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 9) CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.

SITE LIGHTING
 1) SITE LIGHTING PLAN TO BE PROVIDED BY OTHERS.
 2) ANY EXTERIOR LIGHTING SHALL BE LIMITED TO CUT-OFF OR SHIELDED TYPE LUMINAIRES AND SHALL BE DIRECTED TOWARDS THE CENTER OF THE PROPERTY. IN NO CASE SHALL SITE LIGHTING BE LOCATED OR INSTALLED SO AS TO SHINE DIRECTLY ONTO NEIGHBORING PROPERTIES OR THE PUBLIC RIGHT-OF-WAY. THE HEIGHT OF ANY EXTERIOR LIGHTING SHALL NOT EXCEED TEN (10) FEET IN HEIGHT AND SHALL MAINTAIN A CLEARANCE OF AT LEAST EIGHT (8) FEET ABOVE ANY PEDESTRIAN AREA.

LOCATION MAP
 NTS

REVISIONS

No.	Date	Description	By

SITE DATA:

PROPERTY OWNER	FOREST PARK ILM, LLC
PROJECT ADDRESS	430 FOREST PARK ROAD
FIN NUMBER	R06209-002-021-000
AREA NOT IN A FEMA 100-YEAR FLOOD ZONE.	R-5
ZONING DISTRICT	R-5
DISTURBED AREA	1.1 AC
SETBACKS REQUIRED	FRONT: 10', REAR: 15', SIDE: 7'
PROPOSED SETBACKS: LOT1/LOT2	FRONT: 5.15'/10.5', REAR: 101.5'/119.5', SIDE: 7.5'
TRACT AREA	54,682 SF (1.25 AC)
BUILDING USE	RESIDENTIAL
BUILDING CONSTRUCTION TYPE	5B
EXISTING BUILDING AREA	0 SF
TOTAL PROPOSED BUILDING AREA (GROSS)	9,732 SF
BUILDING LOT COVERAGE (9,732/54,682)	17.8%
NUMBER OF BUILDINGS	2
NUMBER OF UNITS	12
NUMBER OF BEDROOMS/UNIT	3
MAXIMUM BUILDING HEIGHT	3
NUMBER OF STORIES	3
SF PER FLOOR (GROSS)	
1ST FLOOR	4,830 SF
2ND FLOOR	4,830 SF
3RD FLOOR	4,830 SF
LOT 2 BUILDING	
1ST FLOOR	4,830 SF
2ND FLOOR	4,830 SF
3RD FLOOR	4,830 SF
EXISTING IMPERVIOUS AREAS:	
EXISTING BUILDING	0 SF
EXISTING ASPHALT	0 SF
EXISTING CONCRETE	0 SF
EXISTING IMPERVIOUS AREA	0 SF (0%)
PROPOSED ONSITE IMPERVIOUS AREA:	
PROPOSED BUILDING FOOTPRINT	9,732 SF
PROPOSED ASPHALT ACCESS	5,523 SF
PROPOSED CONCRETE PARKING	5,505 SF
FUTURE IMPERVIOUS AREA	3,720 SF
TOTAL IMPERVIOUS AREA	24,480 SF (44.8%)
PROPOSED OFFSITE IMPERVIOUS AREA:	
ONSITE + OFFSITE	25,745 SF
PARKING REQUIRED: (12) 3-BEDROOM UNITS	27 SPACES
MINIMUM: (2) 25 (UNIT)	33 SPACES
MAXIMUM: (2) 75 (UNIT)	33 SPACES
PARKING PROVIDED:	37 SPACES
BICYCLE SPACES REQUIRED (1 SPACE/5 DWELLING UNITS)	
BICYCLE SPACES PROVIDED	
1 SPACE/5 DWELLING UNITS*12 UNITS	3 BICYCLE SPACES
PUBLIC WATER AND SEWER BY CFPUA	
EXISTING WATER FLOW:	0 GPD
PROPOSED WATER FLOW:	0 GPD
(400 GPD/UNIT x 12 UNITS)	4,800 GPD
PROPOSED SEWER FLOW:	
(360 GPD/UNIT x 12 UNITS)	4,320 GPD
CAMA LAND USE:	URBAN WATERSHED RESOURCE PROTECTION
SOLID WASTE HANDLING:	ROLL-OUT CARTS

LEGEND

SS	SEWER
W	WATER
SD	PROPOSED STORM WATER
■	LIMITS OF DISTURBANCE
X	TSF
□	PROPOSED CONCRETE
●	PROPOSED SPOT ELEVATION
○	RDCO
○	ROOF DRAIN CLEAN OUT

WILMINGTON
 NORTH CAROLINA

TRIPP ENGINEERING, P.C.
 419 Chestnut Street
 Wilmington, North Carolina 28401
 Phone 910-763-5100
 Fax 910-763-5631
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PROGRESS DRAWING
 DO NOT USE FOR CONSTRUCTION

DATE 07-21-23
 DESIGN PGT
 DRAWN EJW

C3

22011

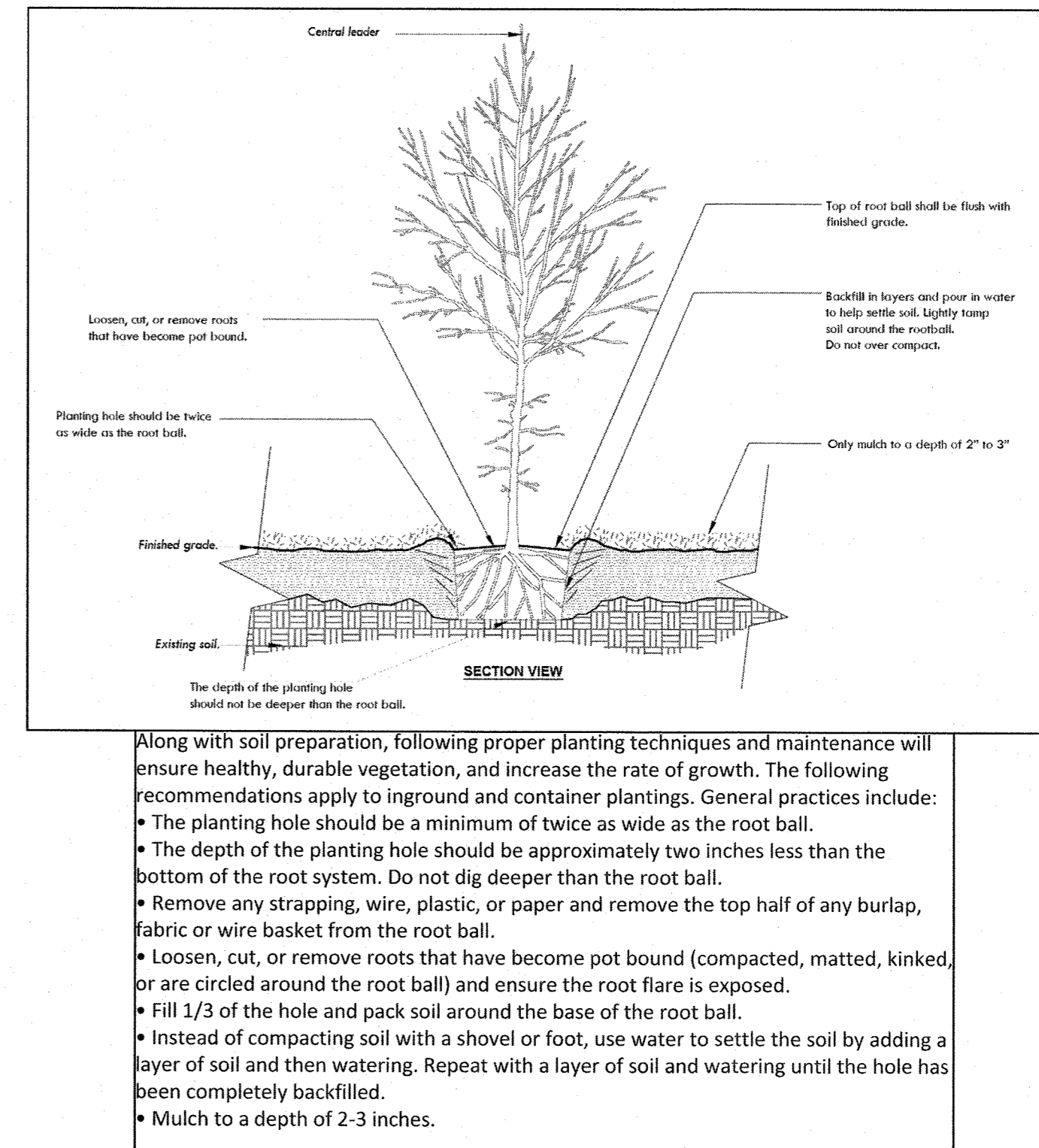
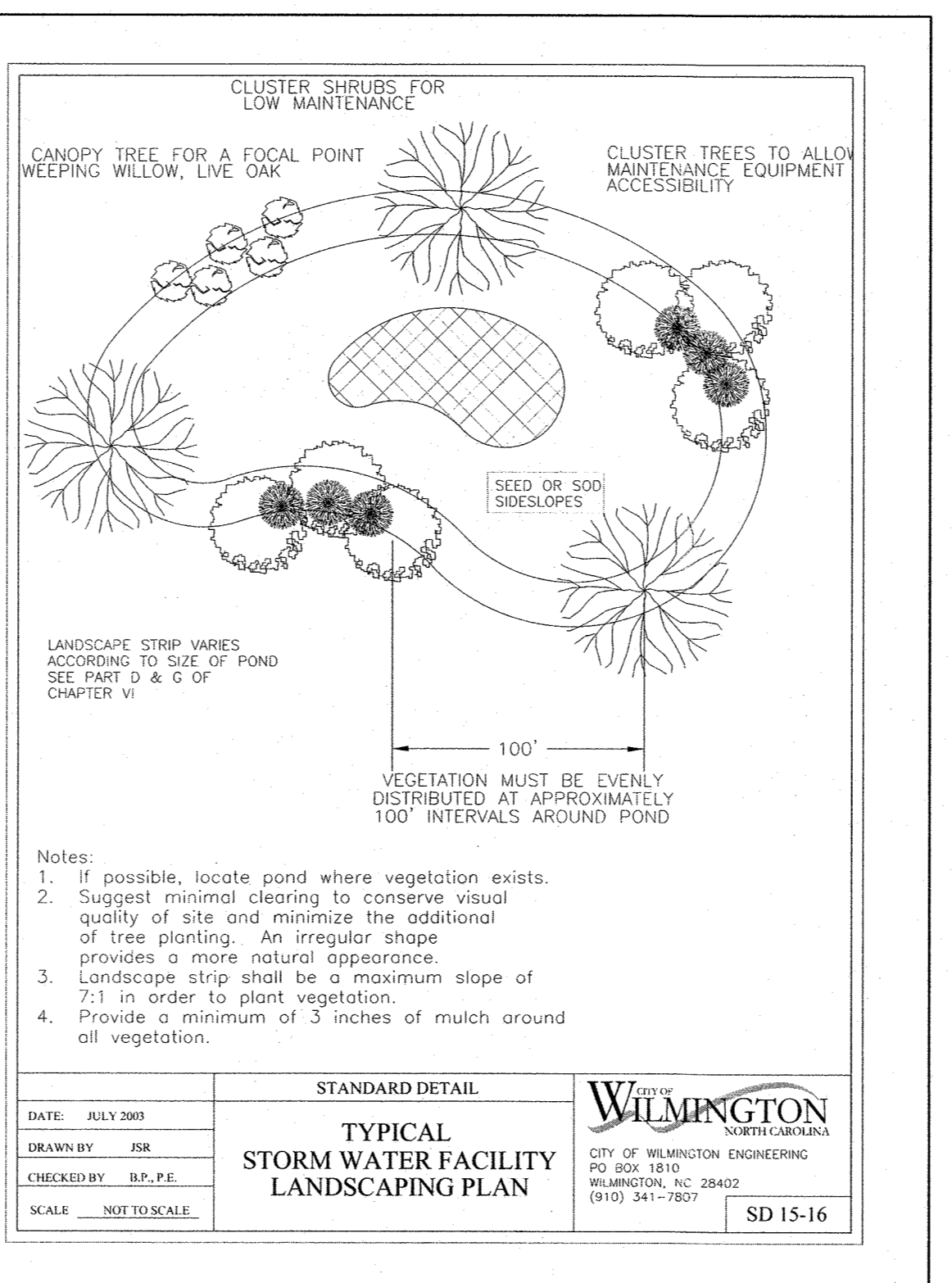
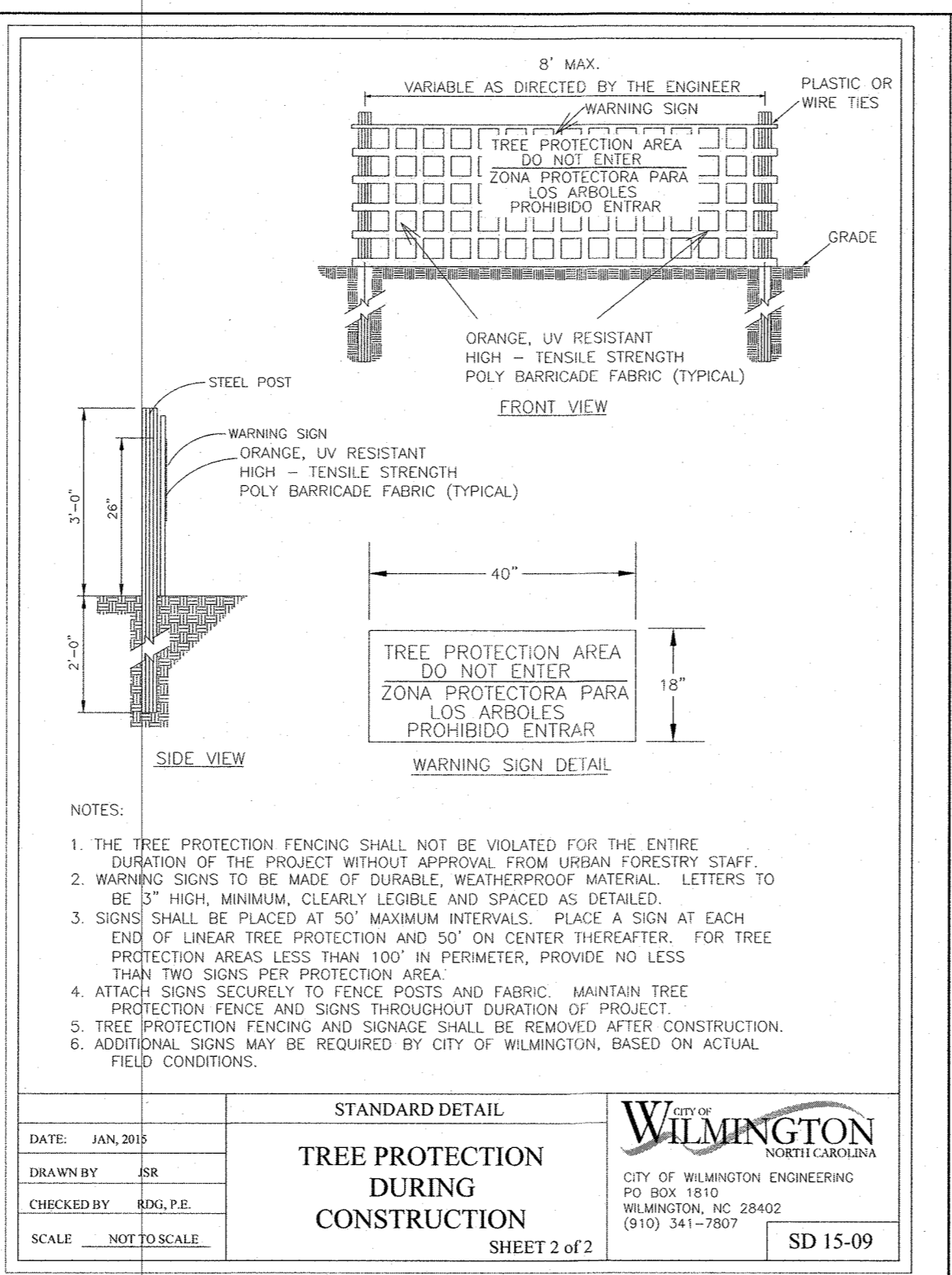
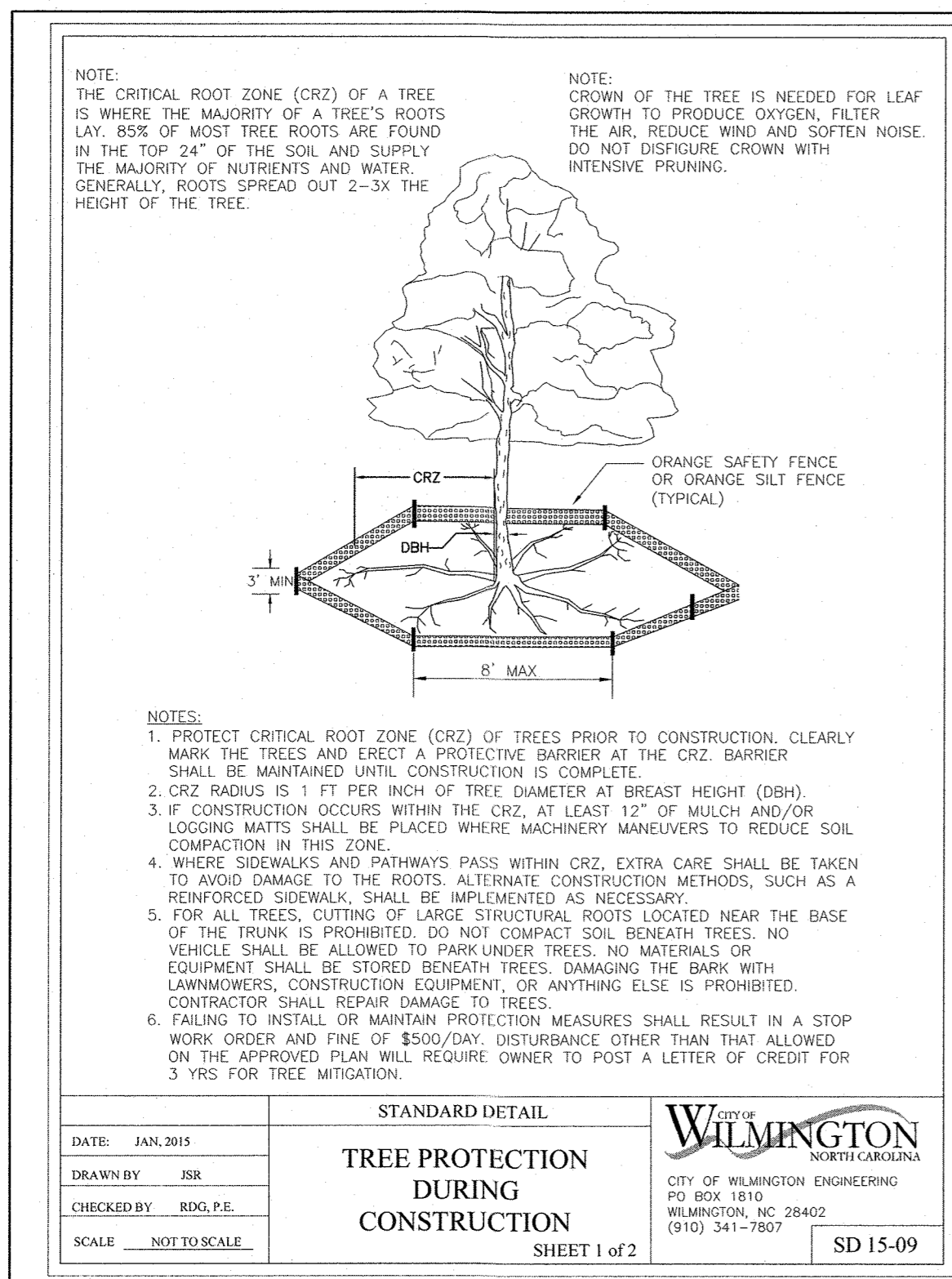
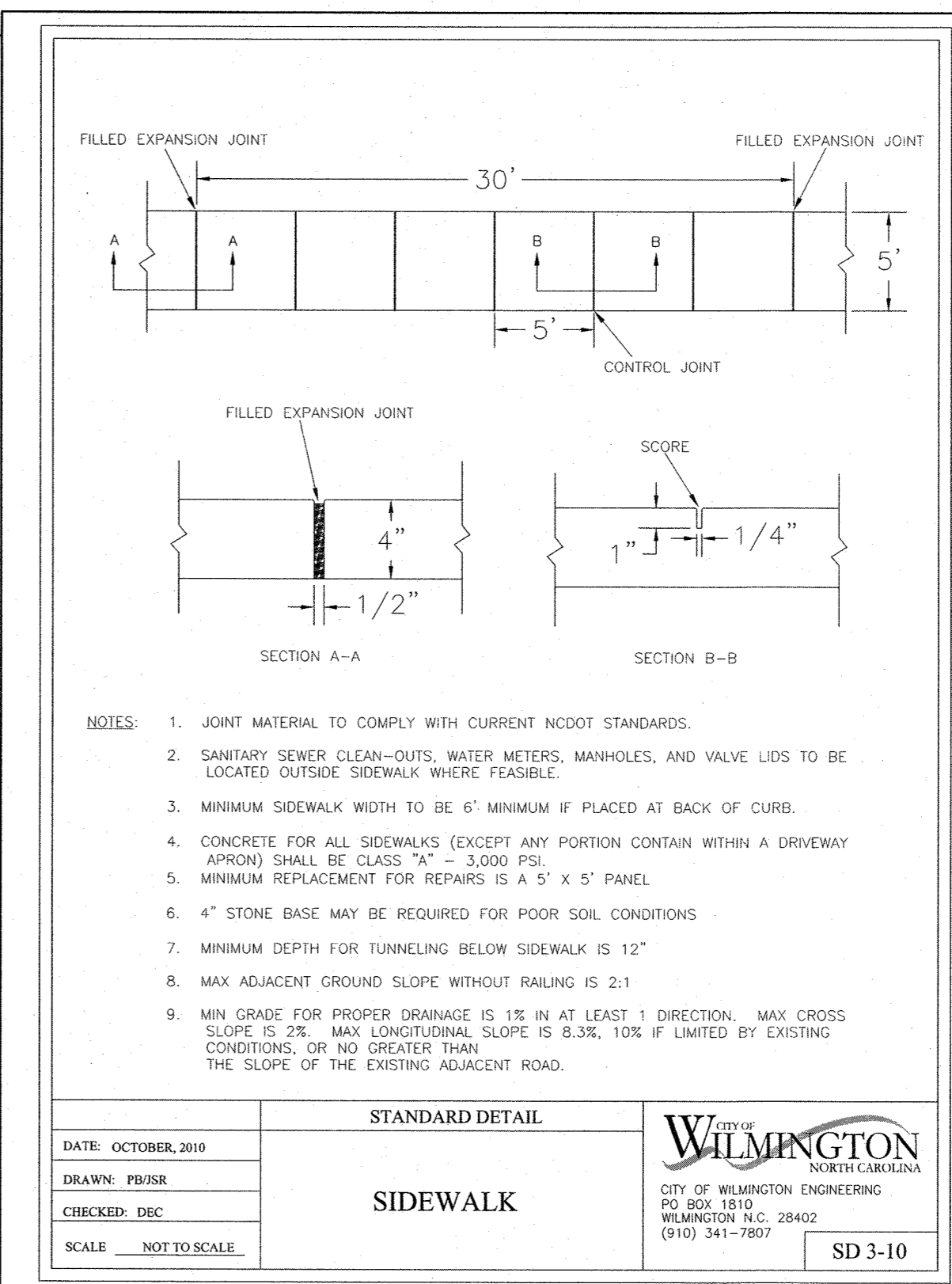
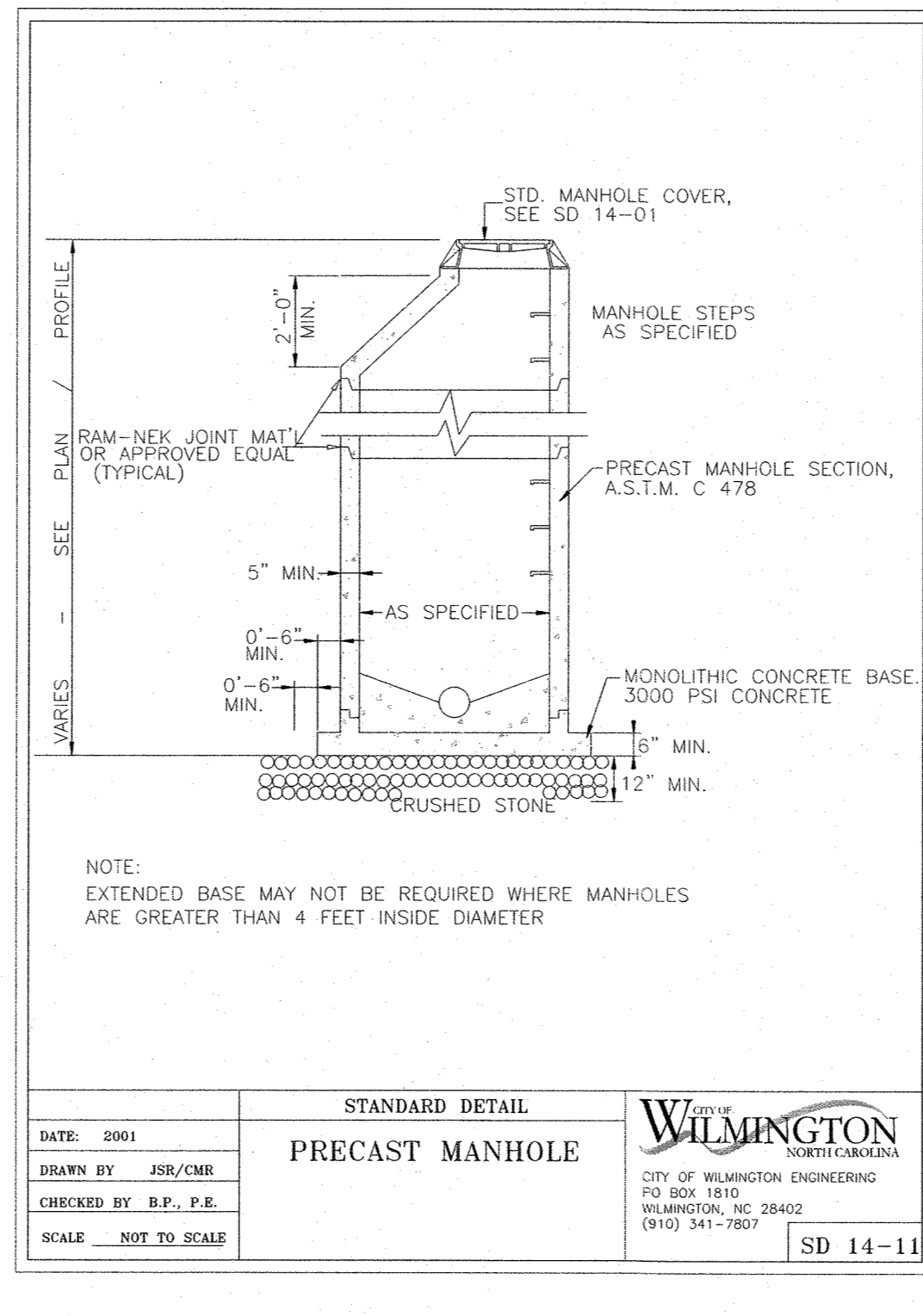
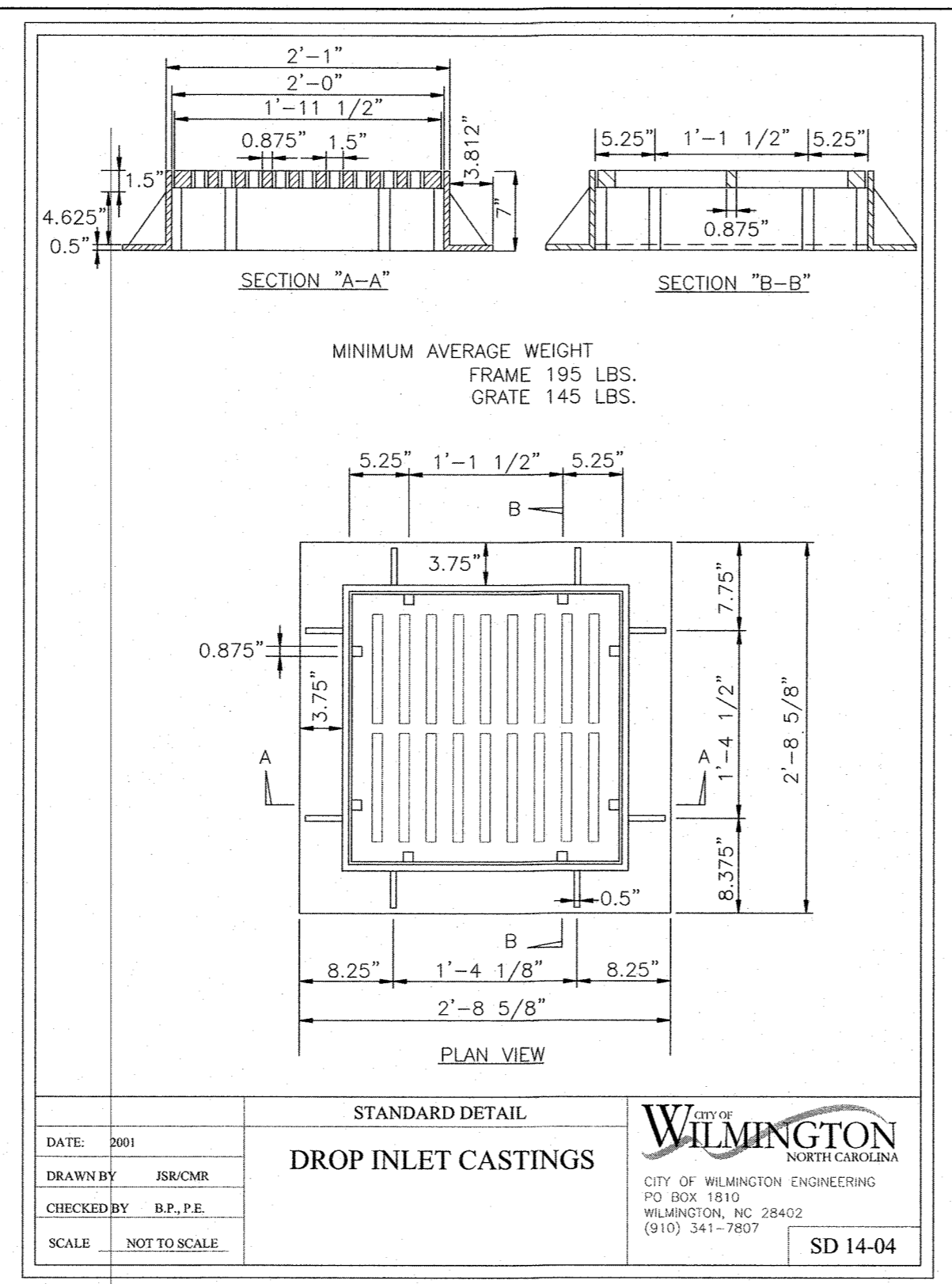
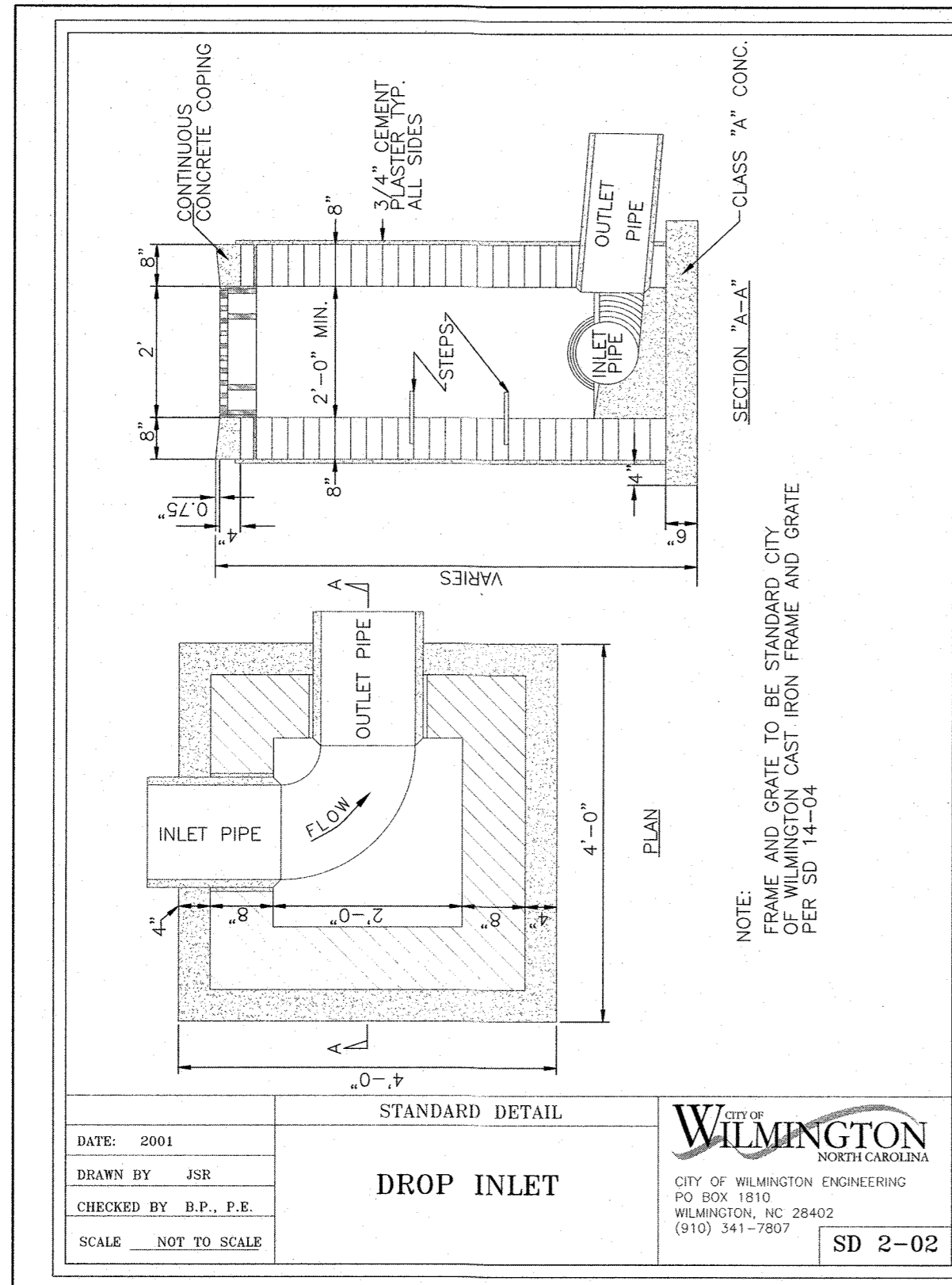
GRADING, DRAINAGE, EROSION CONTROL, AND STORMWATER MANAGEMENT

FOREST PARK TOWNHOMES
 430 FOREST PARK ROAD
 WILMINGTON, NORTH CAROLINA

1-21-23

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

SITE PLAN
 BAR SCALE 1"=20'

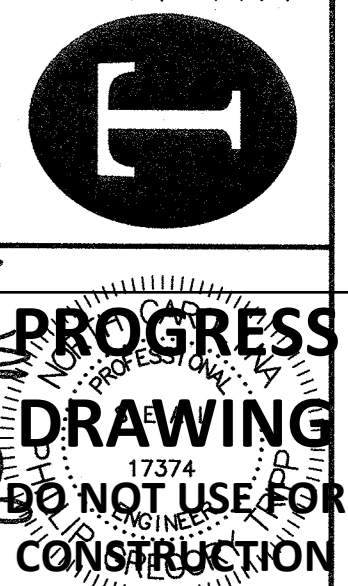


For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

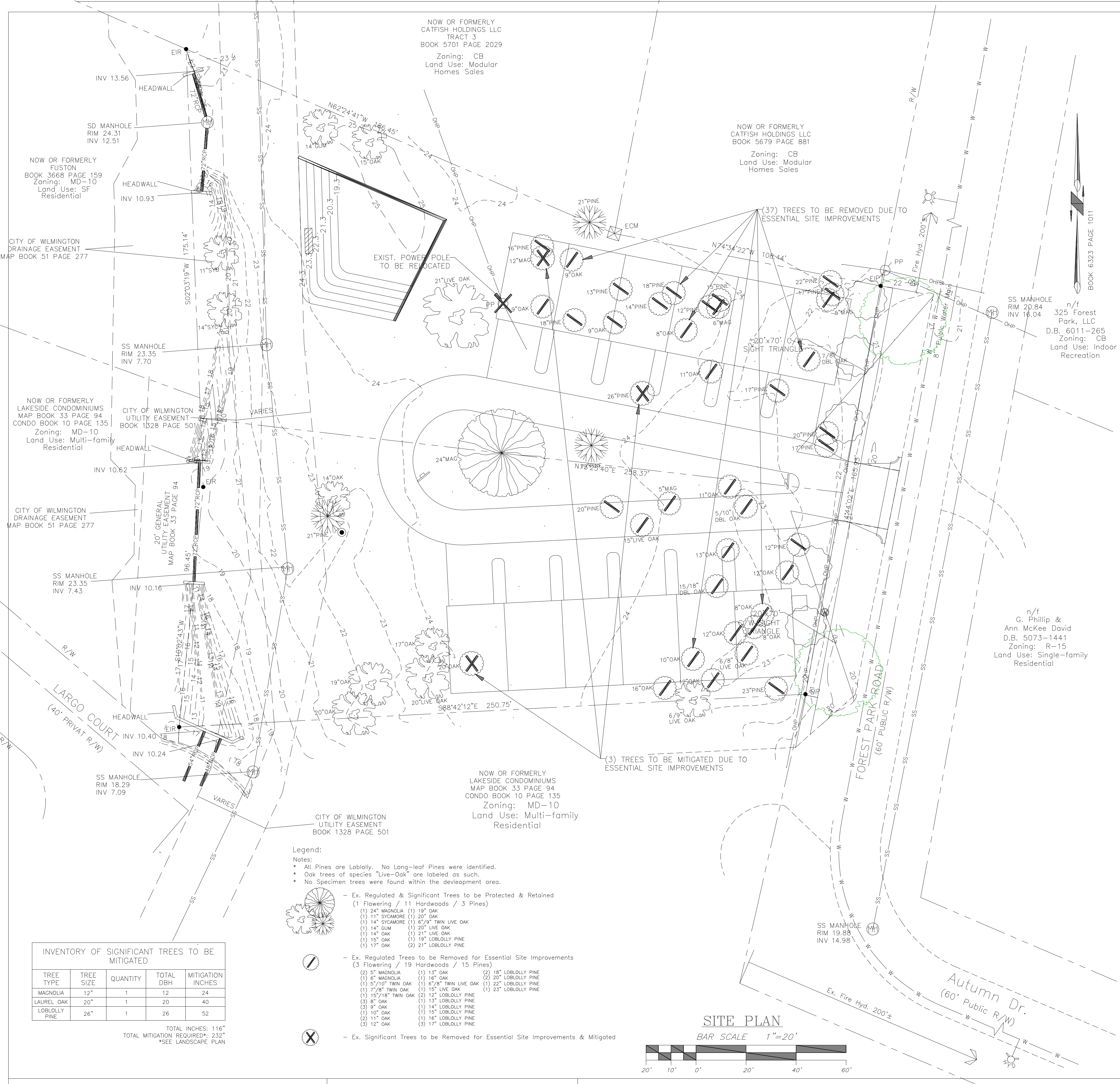
REVISIONS			
No.	Date	Description	By
R1	03.02.20	ADD DETAIL	EJW

DETAILS AND NOTES
FOREST PARK TOWNHOMES
430 FOREST PARK ROAD
WILMINGTON, NORTH CAROLINA

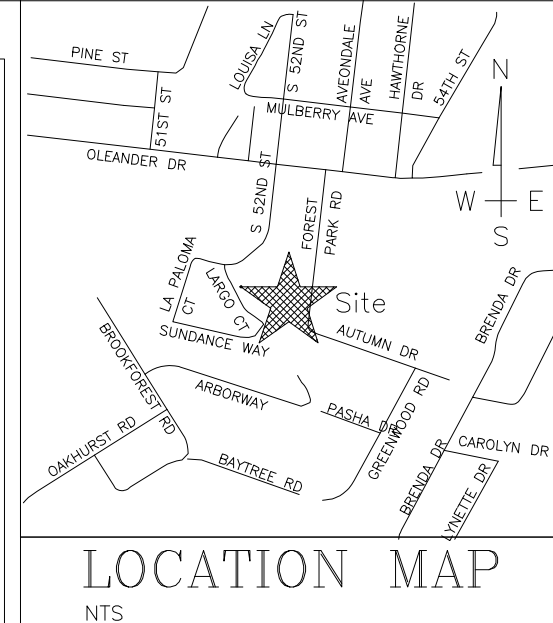
TRIPP ENGINEERING, P.C.
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DATE: 07-21-23
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LANDSCAPING
 1) A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND THE PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.
 2) ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
 3) PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 4) ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
 5) NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTIONS ON TREE PROTECTION METHODS.
 6) ALL CURBING AROUND LANDSCAPE ISLAND TO BE MINIMUM 6" IN HEIGHT.
 7) TREE PRESERVATION/REMOVAL PERMIT IS REQUIRED PRIOR TO CLEARING AND LAND DISTURBANCE.
 8) LABEL PROTECTIVE FENCING WITH SIGNS TO BE PLACED EVERY 50 LINEAR FEET, OR AT LEAST TWO (2) PER AREA, IN BOTH ENGLISH AND SPANISH "TREE PROTECTION AREA: DO NOT ENTER".



LEGEND

	COMMON NAME	QTY	SIZE	HEIGHT
TREE, DECIDUOUS				
	MAPLE, TRIDENT	5	3" CAL	10'
	CATHEDRAL LIVE OAK	2	2" CAL	10'

15' CAL. TOWARDS MITIGATION

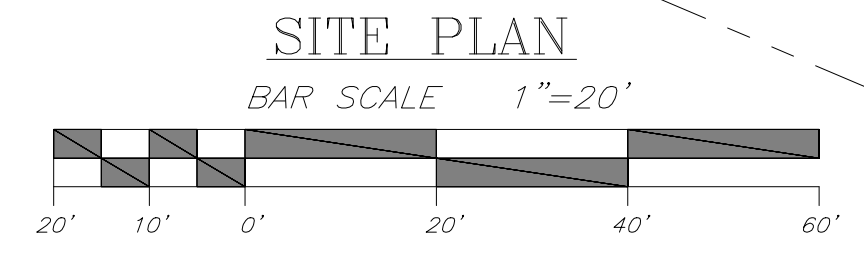
232' REQ'D. MITIGATION
 15' CAL. TOWARDS MITIGATION
 217' REQ'D. MITIGATION REMAINING TO BE PAID IN LIEU

INVENTORY OF SIGNIFICANT TREES TO BE MITIGATED

TREE TYPE	TREE SIZE	QUANTITY	TOTAL DBH	MITIGATION INCHES
MAGNOLIA	12"	1	12	24
LAUREL OAK	20"	1	20	40
LOBLOLLY PINE	26"	1	26	52

TOTAL INCHES: 116"
 TOTAL MITIGATION REQUIRED: 232"
 *SEE LANDSCAPE PLAN

- Legend:**
 Notes:
 • All Pines are Loblolly. No Long-leaf Pines were identified.
 • Oak trees of species "Live-Oak" are labeled as such.
 • No Specimen trees were found within the development area.
- Ex. Regulated & Significant Trees to be Protected & Retained
 (1 Flowering / 11 Hardwoods / 3 Pines)
 (1) 24" MAGNOLIA (1) 19" OAK
 (1) 11" SYCAMORE (1) 28" OAK
 (1) 14" SYCAMORE (1) 8'8" TWIN LIVE OAK
 (1) 14" GUM (1) 20" LIVE OAK
 (1) 14" OAK (1) 21" LIVE OAK
 (1) 15" OAK (1) 18" LOBLOLLY PINE
 (1) 17" OAK (2) 21" LOBLOLLY PINE
 - Ex. Regulated Trees to be Removed for Essential Site Improvements
 (3 Flowering / 19 Hardwoods / 15 Pines)
 (2) 5" MAGNOLIA (1) 13" OAK (2) 18" LOBLOLLY PINE
 (1) 6" MAGNOLIA (1) 16" OAK (3) 20" LOBLOLLY PINE
 (1) 5'10" TWIN OAK (1) 6'8" TWIN LIVE OAK (1) 22" LOBLOLLY PINE
 (1) 7'8" TWIN OAK (1) 15" LIVE OAK (1) 23" LOBLOLLY PINE
 (1) 15'18" TWIN OAK (2) 15" LOBLOLLY PINE
 (3) 8" OAK (1) 13" LOBLOLLY PINE
 (3) 9" OAK (1) 14" LOBLOLLY PINE
 (1) 10" OAK (1) 15" LOBLOLLY PINE
 (2) 11" OAK (1) 16" LOBLOLLY PINE
 (3) 12" OAK (1) 17" LOBLOLLY PINE
 - Ex. Significant Trees to be Removed for Essential Site Improvements & Mitigated



Revision #: 1
 Date: 7/26/2023

Scale:
 1" = 20'

Landscape Plan:
Forest Park Townhomes

Landscape Design by: Jim Freeman - NCLC# 0071
Freeman Landscape, Inc.